

DALYELLUP
LIFESTYLE VILLAGE



17 August 2023

To whom it may concern,

The owners of Lot 9035 Atkins Road, Dalyellup wish to formally apply for a Stage 1 Local Development Plan (LDP) for the site.

Background

The site was approved as a 'Grouped Dwelling' with provision for 125 sites by the Shire of Capel on 25 May 2023. The intent of the previous approval was to get the use approved, the approval requires the preparation and subsequent approval of a Local Development Plan.

Local Development Plan

The Attached Local Development Plan will guide the look and feel of the Lifestyle Village while providing a framework for the approvals process. It is intended that the development will be staged; the first stage of the LDP will include greater depth of information to provide the administration with a greater understanding of the finishes and treatments to be used.

The LDP includes house types with a set of provisions, this will allow for the individual dwellings to proceed straight to a Building Permit rather than applying for individual planning approvals. The administration has indicated that this is a desirable outcome.

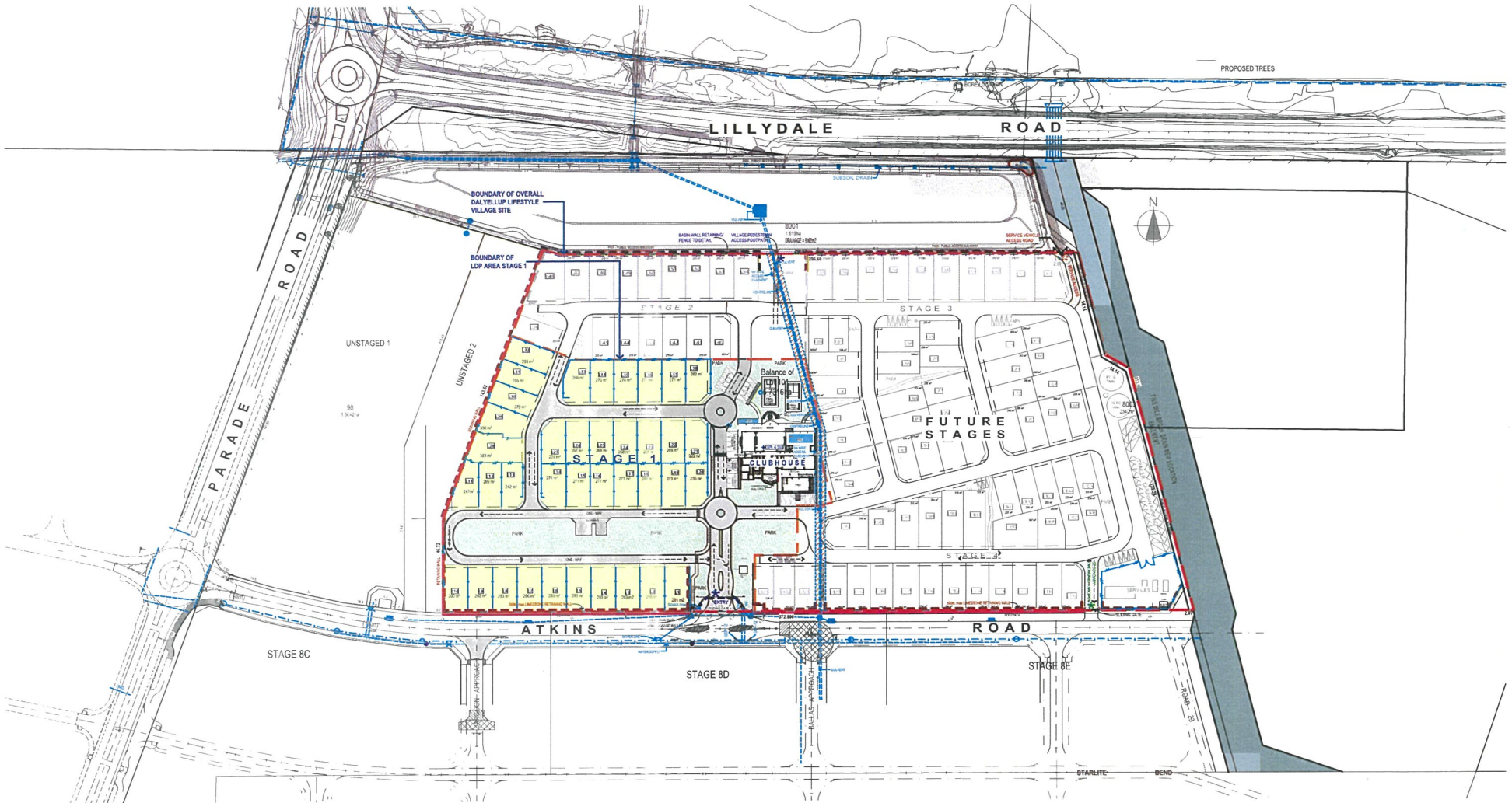
The LDP includes details such as the clubhouse, fencing, entry statement. These details show the treatments selected for both internal and external fencing designs.

A draft landscaping/hardscaping plan has been provided for information only.

Changes have been made based on initial feedback from the Administration to streamline the plans/document layout, including reference to R-Coding, provide further provisions about dwellings on lots, addition to open space/landscaping/setback/fencing provisions. Not included in this application is the clubhouse or fencing fronting Atkins Road. Should you have any further feedback, please feel free to contact me.

Kind regards,

Jason Moore
Piara Landholdings



OVERALL DEVELOPMENT PLAN
SCALE: 1:2000

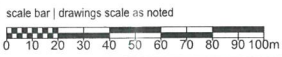
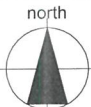
NOTES

Base data supplied by BDG Pty Ltd / Landgate

Areas and dimensions shown are subject to final survey calculations
All carriageways are shown for illustrative purposes only and are subject to detailed engineering design.

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date plotted: 16-Aug-23 at 5:59 PM
file path: P:\p_Dalzellup Lifestyle Village DLV118 Drafting\DALYELLUP.COM SERVICES WD_v26 Master.pln



CLIENT: Piara Landholdings
SCALE: shown @ A3 sheet
DATE: 16 August 2023
PLAN No.: DLV-LDP-001
REVISION: C
PLANNER:
DRAWN: SW

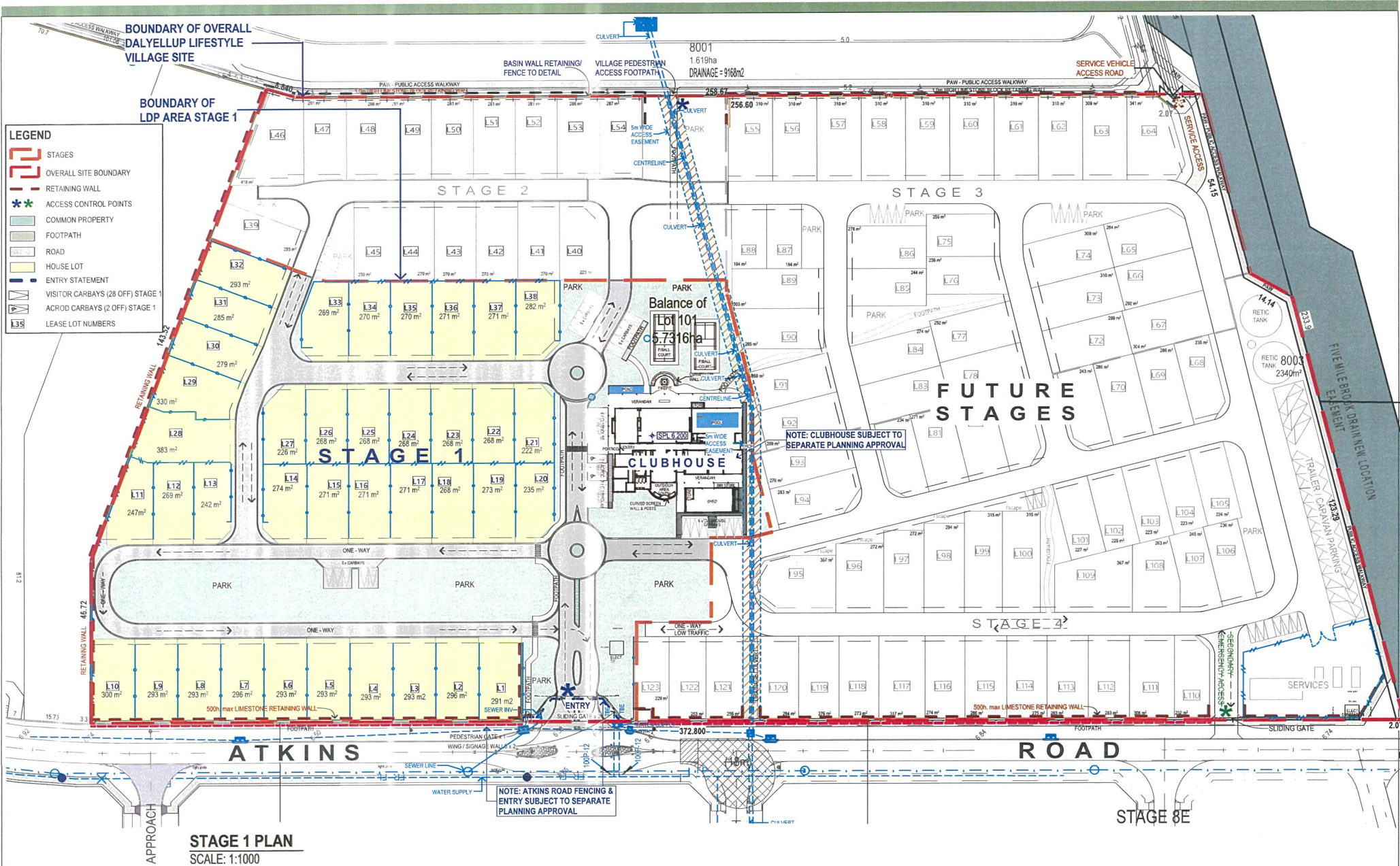
DOCUMENTS PART OF LDP

DLV.01	OVERALL DEVELOPMENT PLAN
DLV.02	STAGE 1 PLAN
DLV.03	PROVISIONS
DLV.04	STANDARD HOUSE DESIGNS 1
DLV.05	STANDARD HOUSE DESIGNS 2
DLV.06	STANDARD HOUSE DESIGNS 3
DLV.07	STANDARD HOUSE DESIGNS 4
DLV.08	SITE PLAN - FENCING & DETAILS

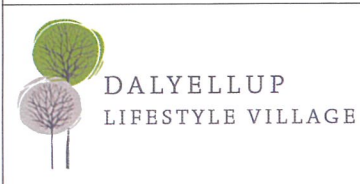


LOT 101 ATKINS ROAD DALYELLUP, WA

**LOCAL DEVELOPMENT PLAN
OVERALL DEVELOPMENT PLAN**



STAGE 1 PLAN
SCALE: 1:1000



project name: DALYELLUP LIFESTYLE VILLAGE		addendum no: DLV.02
title: STAGE 1 PLAN		
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INTEPRETATION

1. Unless otherwise detailed by this Local Development Plan (LDP), all development shall be in accordance with the Shire of Capel Local Planning Scheme No.1 (the Scheme) State Planning Policy 3.1 - Residential Design Codes (R-Codes).
2. The provisions of the Scheme and R-Codes are varied by this LDP as follows:

DENSITY

3. The R-Code density applicable to the subject lots is R40.

SETBACKS

4. The minimum primary street setback for all single residential dwellings is 1.5m.
5. A nil setback to one side boundary is permissible for all dwellings behind the primary street setback line and 1.5 metre from the rear boundary, unless otherwise indicated on this LDP.
6. Apart from for nil setback boundary walls, side and rear setbacks shall be a minimum of 1m
7. Length of parapet walls behind the primary street setback line is permitted up to 50% of a one side boundary.

STREETSCAPE

8. All garages shall be setback a minimum of 1.5 metre from the primary street.
9. No more than 50% of a street can have the garage forward of the dwelling.
10. Garages are permitted to have a nil setback to one side boundary and is not required to be on the same nil side setback boundary as the dwelling.
11. Where sheds and outbuildings do not match the construction materials and colours of the dwelling they are to be screened from public view.

OPEN SPACE AND LANDSCAPING

12. The minimum open space requirement is 40% of the lease site area.
13. A minimum dimension of 3.0 metres shall apply to outdoor living area with a minimum total area of 20m².
14. Each site shall accommodate at least one tree within a 2m x 2m landscaping tree zone.
15. Common Area landscaping shall include at least one tree for every four uncovered carparking spaces.

BUSHFIRE

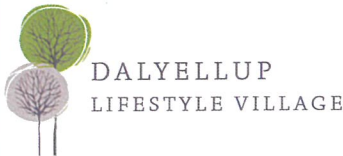
16. Buildings on the lots identified as being Bushfire Prone Areas are to be Constructed in accordance with "AS3959 Construction of Buildings in Bushfire Prone Areas" or in accordance with an approved Bushfire Management Plan.

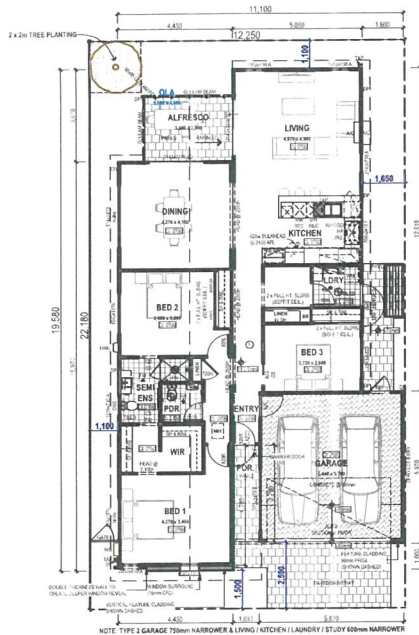
FENCING

17. Solid fencing to a height of 1.8m will be permitted between homes.
18. No fencing shall be constructed along the boundary of Atkins Road unless approved under a separate planning approval.
19. The fencing to the boundary of Atkins Road shall not be modified except in accordance with a planning approval.

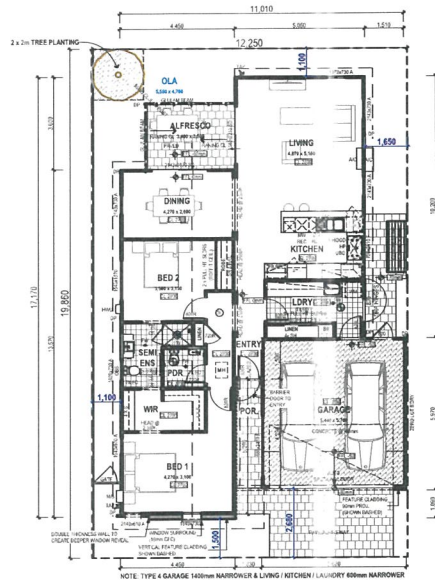
DESIGN VARIATION

20. Variations to the Standard House Designs are permitted without a planning approval provided:
 - A) there are no major and significant changes to the front elevation
 - B) side/front/rear setbacks comply with the requirements of this LDP
21. Mirrored versions of the Standard House Designs are considered the same as a standard home.
22. Any standard house design can be located on any site provided the setback and other design requirements can be met.

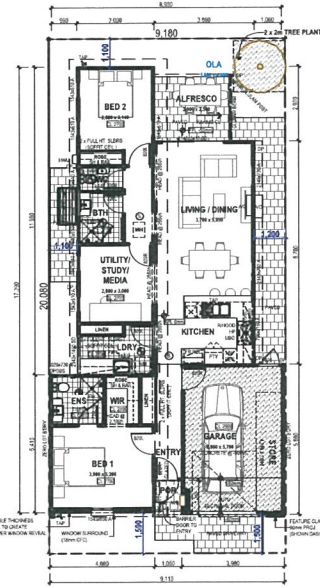
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	title: PROVISIONS	
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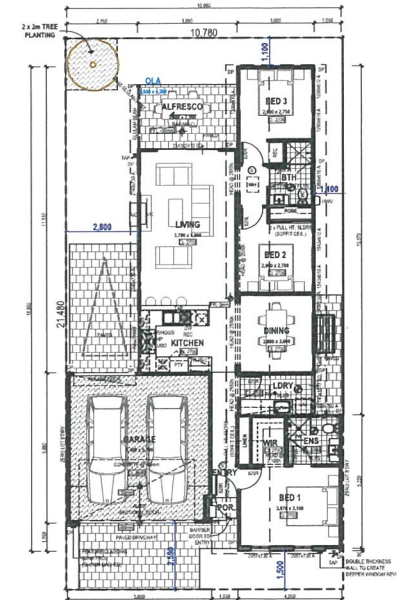
TYPE 1/2 CONTOS PLUS 3B PLAN
SCALE: 1:200



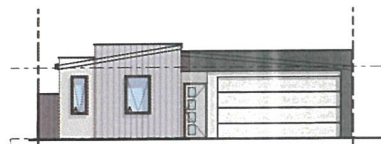
TYPE 3/4 CONTOS SPRING 2B PLAN
SCALE: 1:200



TYPE 5 PEPPERMINT BEACH 2B + STUDY PLAN
SCALE: 1:200



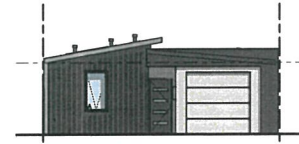
TYPE 6 PEPPERMINT BEACH PLUS 3B PLAN
SCALE: 1:200



URBAN ELEVATION



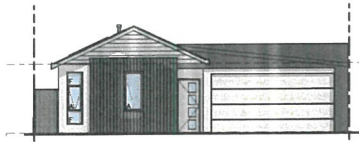
URBAN ELEVATION



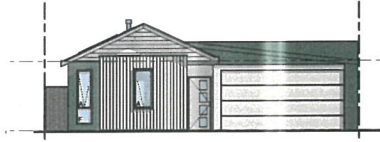
URBAN ELEVATION



URBAN ELEVATION



COASTAL ELEVATION



COASTAL ELEVATION



COASTAL ELEVATION



COASTAL ELEVATION

TYPE 1
LOT AREA: 284m²
HOUSE AREA: 168m²
OPEN SPACE: 40%
OLA: 30m²
(HOUSE AREA INC GARAGE)

TYPE 2
LOT AREA: 267m²
HOUSE AREA: 155m²
OPEN SPACE: 42%
OLA: 30m²

TYPE 3
LOT AREA: 254m²
HOUSE AREA: 144m²
OPEN SPACE: 43%
OLA: 30m²

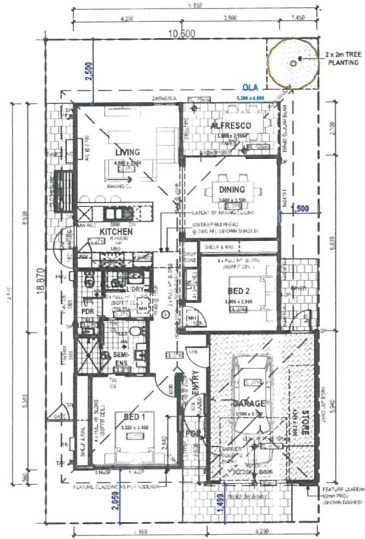
TYPE 4
LOT AREA: 239m²
HOUSE AREA: 134m²
OPEN SPACE: 44%
OLA: 30m²

TYPE 5
LOT AREA: 186m²
HOUSE AREA: 119m²
OPEN SPACE: 40%
OLA: 26m²

TYPE 6
LOT AREA: 235m²
HOUSE AREA: 133m²
OPEN SPACE: 43%
OLA: 28m²



project name: DALYELLUP LIFESTYLE VILLAGE		addendum no: DLV.04
title: STANDARD HOUSE DESIGNS 1		
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date drawn: 16-Aug-23	scale: 1:200	revision: C



TYPE 7 BLACKWOOD 2B PLAN
SCALE: 1:200

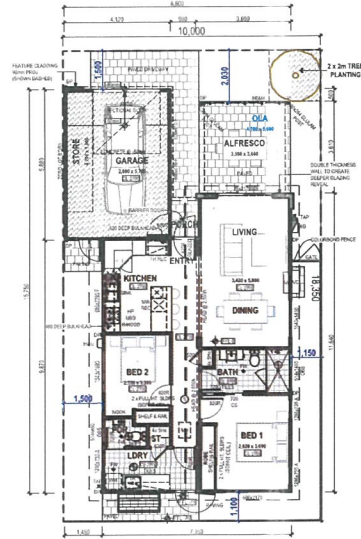


URBAN ELEVATION



COASTAL ELEVATION

TYPE 7
LOT AREA: 210m²
HOUSE AREA: 113m²
OPEN SPACE: 45%
OLA: 21m²
(HOUSE AREA INC GARAGE)



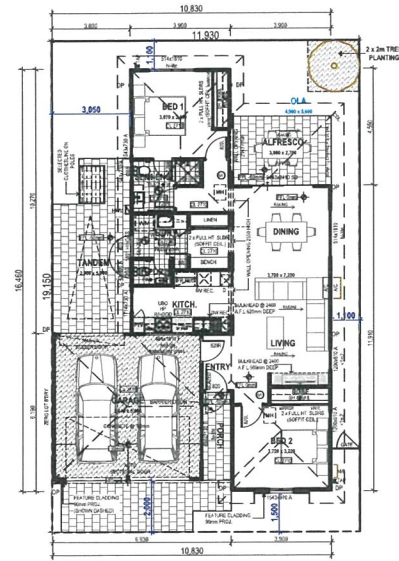
TYPE 8 GNARABUP 2B PLAN
SCALE: 1:200



URBAN ELEVATION



TYPE 8
LOT AREA: 186m²
HOUSE AREA: 103m²
OPEN SPACE: 45%
OLA: 24m²



TYPE 9 EAGLE BAY 2B PLAN
SCALE: 1:200

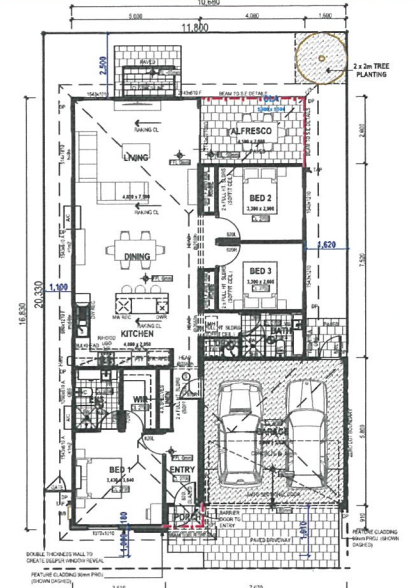


URBAN ELEVATION

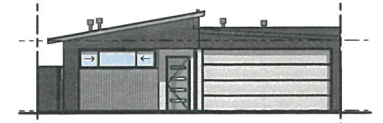


COASTAL ELEVATION

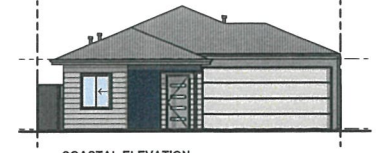
TYPE 9
LOT AREA: 225m²
HOUSE AREA: 122m²
OPEN SPACE: 45%
OLA: 26m²



TYPE 10 PRESTON BEACH 3B PLAN
SCALE: 1:200



URBAN ELEVATION

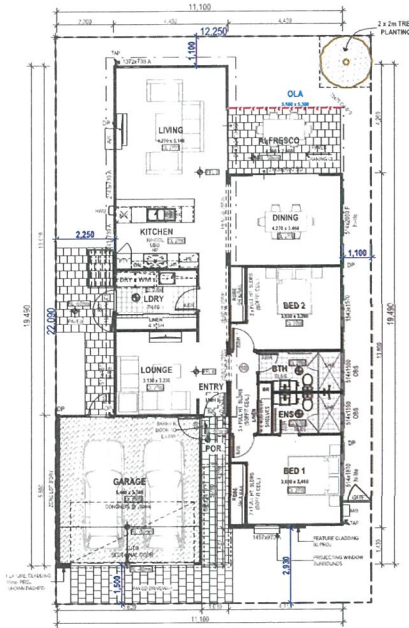


COASTAL ELEVATION

TYPE 10
LOT AREA: 240m²
HOUSE AREA: 146m²
OPEN SPACE: 40%
OLA: 28m²

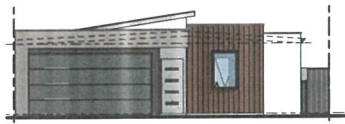


project name: DALYELLUP LIFESTYLE VILLAGE		addendum no: DLV.05
title: STANDARD HOUSE DESIGNS 2		
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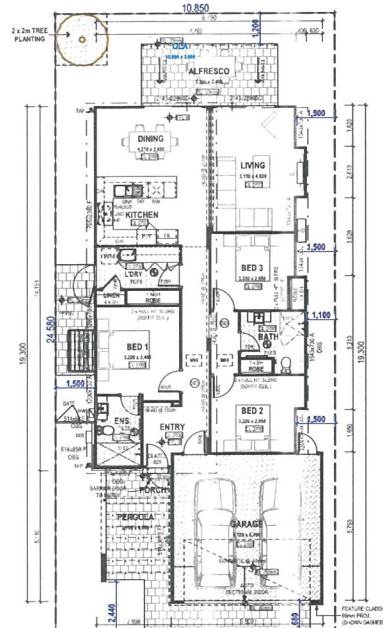
TYPE 11 CONTOS 2B PLAN

SCALE: 1:200



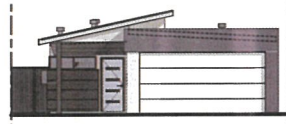
URBAN ELEVATION

TYPE 11
 LOT AREA: 268m²
 HOUSE AREA: 155m²
 OPEN SPACE: 42%
 OLA: 29m²
 (HOUSE AREA INC GARAGE)



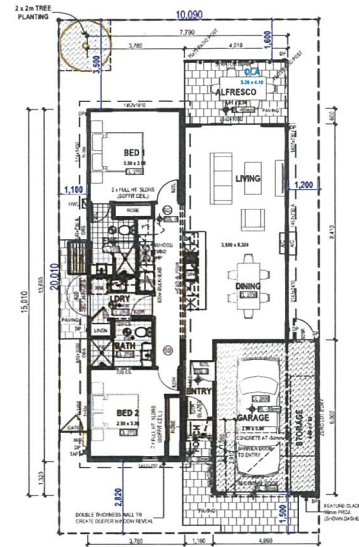
TYPE 12 BUNKER BAY 3B PLAN

SCALE: 1:200



URBAN ELEVATION

TYPE 12
 LOT AREA: 266m²
 HOUSE AREA: 145.5m²
 OPEN SPACE: 45%
 OLA: 38m²



TYPE 13 FOREST 2B PLAN

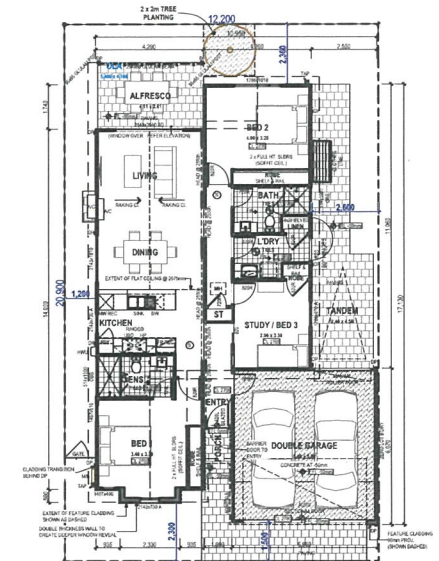
SCALE: 1:200



URBAN ELEVATION

TYPE 13
 LOT AREA: 202m²
 HOUSE AREA: 113m²
 OPEN SPACE: 44%
 OLA: 21m²

COASTAL ELEVATION



TYPE 14 HAMELIN BAY 3B PLAN

SCALE: 1:200

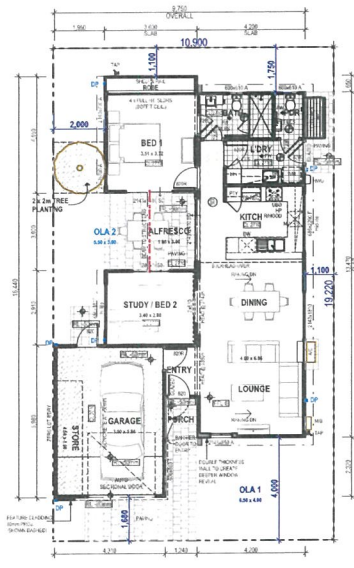


COASTAL ELEVATION

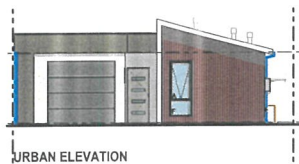
TYPE 14
 LOT AREA: 258m²
 HOUSE AREA: 142m²
 OPEN SPACE: 45%
 OLA: 22m²



project name: DALYELLUP LIFESTYLE VILLAGE		addendum no: DLV.06
title: STANDARD HOUSE DESIGNS 3		
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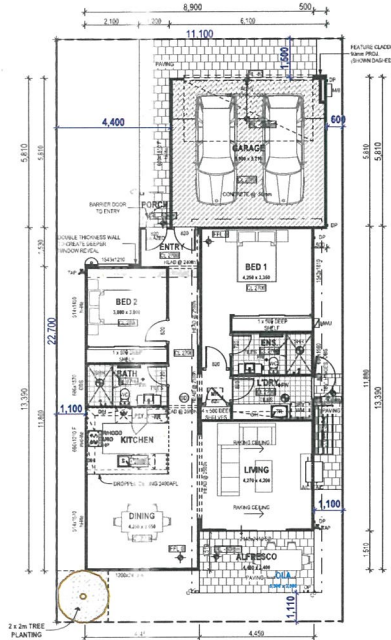


TYPE 15 MEELUP 2B PLAN
SCALE: 1:200

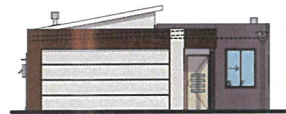


URBAN ELEVATION

TYPE 15
LOT AREA: 207m²
HOUSE AREA: 112m²
OPEN SPACE: 45%
OLA: 20m²
(HOUSE AREA INC GARAGE)

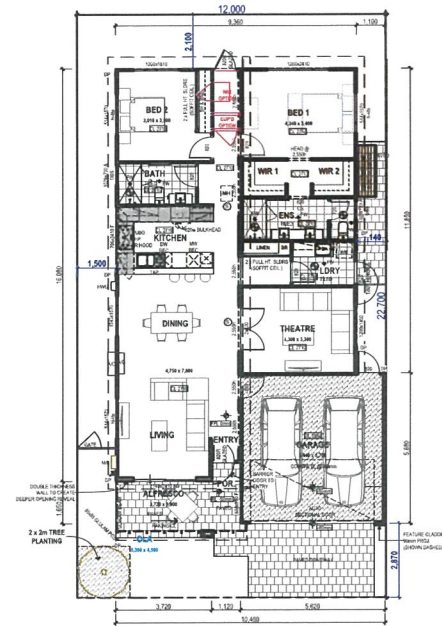


TYPE 16 INJIDUP 2B PLAN
SCALE: 1:200

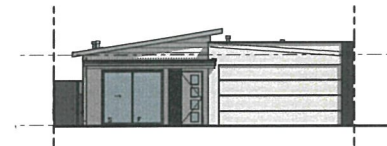


URBAN ELEVATION

TYPE 16
LOT AREA: 252m²
HOUSE AREA: 145m²
OPEN SPACE: 42.5%
OLA: 20m²



TYPE 17 TUART 2B PLAN
SCALE: 1:200



URBAN ELEVATION

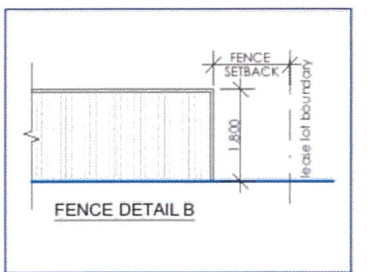
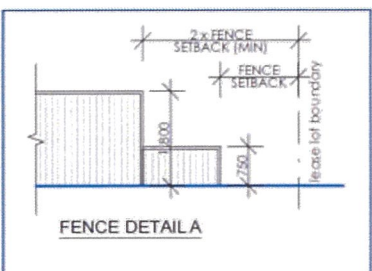
TYPE 17
LOT AREA: 272m²
HOUSE AREA: 163.5m²
OPEN SPACE: 40%
OLA: 24m²



project name: DALYELLUP LIFESTYLE VILLAGE		addendum no: DLV.07
title: STANDARD HOUSE DESIGNS 4		
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91
m²
m²
121
120
6.52
m²



LEGEND

- TYPE 1 - ENTRY STATEMENT
- TYPE 2 - ATKINS ROAD LOTS
- TYPE 3.A - COLORBOND 0.75m-1.8m HIGH
REFER TO DETAIL
- TYPE 3.B - COLORBOND 1.8m HIGH
REFER TO DETAIL
- TYPE 4 - BASIN REAR LOTS
- RETAINING - LIMESTONE BLOCKS
- RL 6.60 RELATIVE LEVEL - INSIDE SITE
- GL 7.08 GROUND LEVEL - OUTSIDE SITE

NOTE: MAXIMUM FENCE HEIGHT OF ALL FENCES - 1800mm MEASURED FROM GROUND LEVEL OR TOP OF RETAINING WALLS AS APPROPRIATE

SITE PLAN - FENCES
SCALE: 1:650

ATKINS

NOTE: ATKINS ROAD FENCING & ENTRY SUBJECT TO SEPARATE PLANNING APPROVAL



project name: DALYELLUP LIFESTYLE VILLAGE		addendum no: DLV.08
title: SITE PLAN - FENCING & DETAILS		
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date drawn: 16-Aug-23	scale: as shown	revision C

LEGEND

- 01 MAIN ENTRY WITH ENTRY STATEMENT WALL
- 02 CLUBHOUSE AND COMMUNITY FACILITIES
- 03 TENNIS COURTS OR LAWN BOWLS
- 04 IRRIGATION TANKS
- 05 CARAVAN AND CAMPER STORAGE AREA
- 06 SERVICE AND INFRASTRUCTURE YARD
- 07 COMMUNAL PARKING BAYS
- INDIVIDUAL LOTS AND HOUSES
- NEW ASPHALT SEALED ROADS
- NEW PEDESTRIAN FOOTPATHS
- FEATURE BRICK OR EXPOSED AGG PAVING
- FORMAL GARDEN PLANTING
- MIXED NATIVE GARDEN PLANTING
- DRAINAGE BASIN AND SWALE PLANTING
- LAWN / OPEN TURF AREAS
- FEATURE ORNAMENTAL PEAR AND PLUM TREE
- ORNAMENTAL CREPE MYRTLE TREE
- DECIDUOUS GLEDITSEA 'SHADE MASTER' TREE
- DECIDUOUS SIMONS POPLAR TREE
- EVERGREEN TRISTANIOPSIS TREE
- NATIVE EUCALYPT AND MELALEUCA PLANTING TO DRAINAGE AND SWALE

LILLYDALE ROAD



NORTHERN DRAINAGE RESERVE NOT PATH OF THIS SCOPE

NORTHERN POS AREA WITH CENTRAL TURF SPACE FOR ACTIVITIES AND RECREATION SURROUNDED BY SHADE TREES AND MIXED NATIVE PLANTING. PATHWAY LINKS TO NORTH AND GREATH PATHWAY NETWORK

PEDESTRIAN ACCESS WAY LINKING TO CLUBHOUSE WITH CENTRAL PATHWAY AND FORMAL PLANTING. SPECIES EITHER SIDE TO MAX HEIGHT OF 0.5m FOR PASSIVE SURVEILLANCE

SHADE TREES ADJACENT CARPARKING BAYS WITH MIXED NATIVE GARDEN SPECIES AS UNDERSTOREY TO PROVIDE FLOWERS, COLOUR ABUTTING PRIVATE RESIDENCES

DECIDUOUS AVENUE TREE PLANTING FORMALISING EDGE TO 5 MILE BROOK AND PROVIDING SHADE TO DUAL USE PATHWAY

DECIDUOUS AVENUE TREE PLANTING TO VERGE AREAS FRONTING THE CLUB HOUSE WITH FORMAL UNDERSTOREY NATIVE AND EXOTIC PLANT SPECIES PROVIDING A HIGHER LEVEL OF PRESENTATION

VERGE POS AREA PLANTED WITH SHADE TREES AND MIXED NATIVE GARDEN SPECIES AS UNDERSTOREY TO PROVIDE FLOWERS, COLOUR AND TEXTURE ROAD END

SHADE TREES ADJACENT CARPARKING BAYS WITH MIXED NATIVE GARDEN SPECIES AS UNDERSTOREY TO PROVIDE FLOWERS, COLOUR ABUTTING PRIVATE RESIDENCES

COMMON VERGE AREAS AND STREET TREE PLANTING BY DEVELOPER TO PROVIDE CONSISTENT AESTHETIC THROUGH-OUT

REFER DETAIL PLAN - 02 FOR ENTRY POS LANDSCAPE TREATMENTS

NATIVE MELALEUCA AND EUCALYPTUS TREE PLANTING TO TOP EDGES OF 5 MILE BROOK DRAIN WITH LOW RUSHES AND SEDGES BENEATH TO STABILISE BATTERS

MULCH ONLY TO SURROUNDS OF IRRIGATION INFRASTRUCTURE FOR EASE OF ACCESS AND MAINTENANCE

DECIDUOUS AVENUE TREE PLANTING ALONG ATKINS VERGE AS CONTINUATION OF EXISTING STREETSCAPES WITH FORMAL MASS PLANTING BENEATH

HEDGE PLANTING WITHIN PRIVATE LOTS TO SCREEN FROM ATKINS ROAD BEHIND LIMESTONE PIER AND OPEN POOL STYLE FENCING ON BOUNDARY

REFER DETAIL CONCEPT PLAN 02 FOR ENTRY POS LANDSCAPE TREATMENTS

HEDGE PLANTING WITHIN PRIVATE LOTS TO SCREEN FROM ATKINS ROAD BEHIND LIMESTONE PIER AND OPEN POOL STYLE FENCING ON BOUNDARY

DECIDUOUS AVENUE TREE PLANTING ALONG ATKINS VERGE AS CONTINUATION OF EXISTING STREETSCAPES WITH FORMAL MASS PLANTING BENEATH

VERGE POS AREA PLANTED WITH SHADE TREES AND MIXED NATIVE GARDEN SPECIES AS UNDERSTOREY TO PROVIDE FLOWERS, COLOUR AND TEXTURE ROAD END

NATIVE MELALEUCA AND EUCALYPTUS TREE PLANTING TO TOP EDGES OF 5 MILE BROOK DRAIN WITH LOW RUSHES AND SEDGES BENEATH TO STABILISE BATTERS

DALYELLUP LIFESTYLE VILLAGE, DAYELLUP

LANDSCAPE MASTERPLAN - OVERALL SITE PLAN



CLIENT: PIARA LANDHOLDINGS
 DATE: 15 AUGUST 2023
 REVISION: A
 DWG NO DLV-01-001

SCALE: 0 5 10 15 20 25
 SCALE 1:500 @





TREE PLANTING - CREPE MYRTLE



TREE PLANTING - GLEITSEA SHADE MASTER



TREE PLANTING - ORNAMENTAL PLUM



TREE PLANTING - ORNAMENTAL PLUM

OPEN LAWN AREA PROVIDES VISUAL OPENING ADJACENT ROAD FOR PASSIVE SURVEILLANCE AND VIEWS OVER DRAINAGE BASIN AREAS

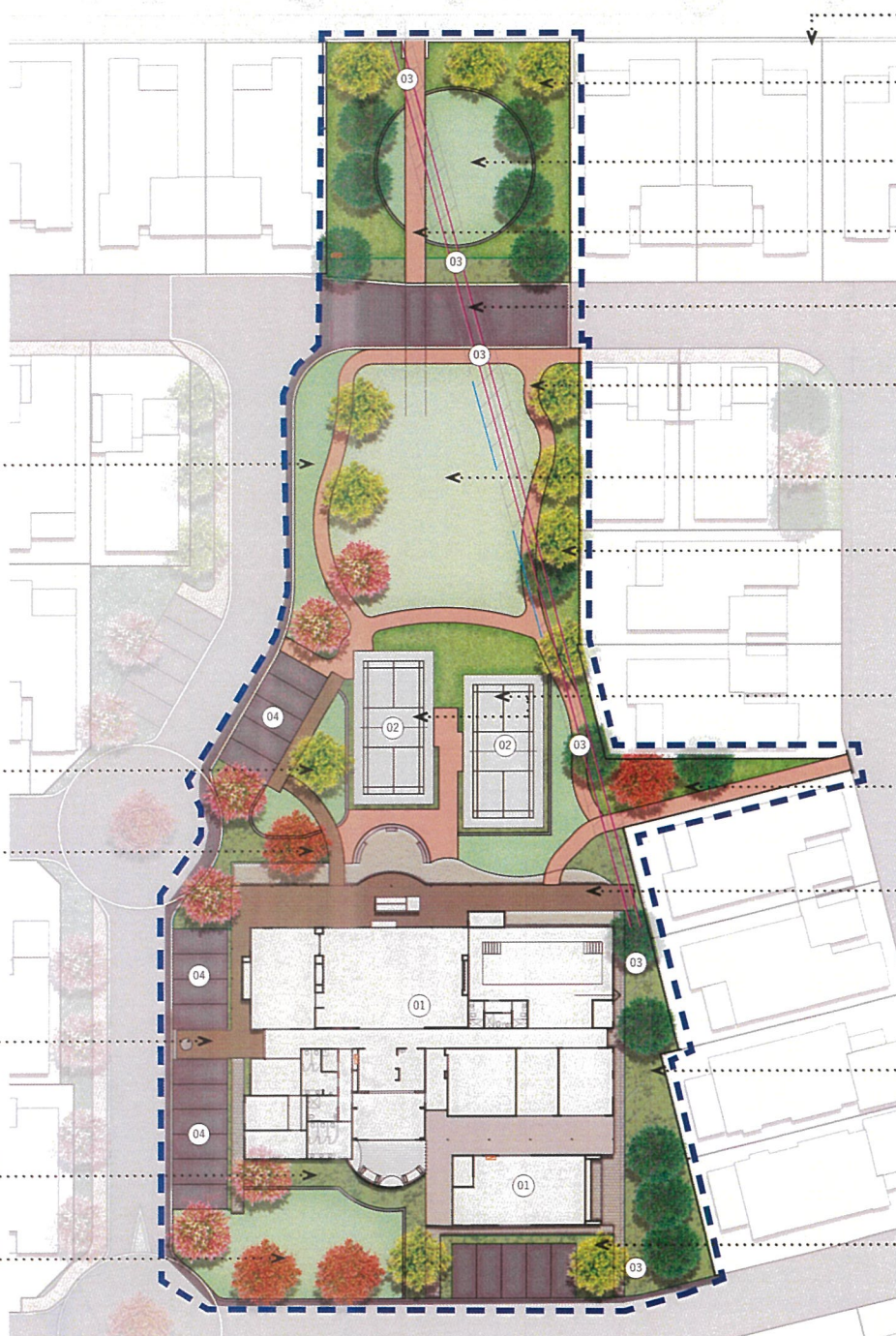
DECIDUOUS SHADE TREE PLANTING IN OPEN LAWN AREAS ADJACENT CLUB HOUSE FOR INFORMAL GATHERING AND SITTING

FORMAL GARDEN PLANTING TO EDGE ROADS PROVIDES PHYSICAL AND VISUAL SEPARATION TO BUILDING AND PATHWAYS

ENTRY DECKING AND CARPARKING TO ARCHITECTS LAYOUT

FORMAL GARDEN PLANTING TO EDGES OF BUILDING TO SOFTEN FACADE

OPEN LAWN AREA PROVIDING VIEWS THROUGH DECIDUOUS TREES TO MAIN ENTRY OF CLUB HOUSE



LIMESTONE BLOCK RETAINING WALL WITH PIERS AND OPEN POOL STYLE FENCE TO NORTHERN BOUNDARY

SHADE TREE PLANTING AND MIXED NATIVE PLANT SPECIES TO UNDERSTOREY PROVIDE SEPARATION TO PRIVATE RESIDENCES

CENTRAL OPEN TURF AREA EDGED WITH CONCRETE MOWING KERB, SUITABLE FOR SMALL GROUP ACTIVITIES AND RECREATION

DUAL USE PATHWAY PROVIDES NORTHERN PEDESTRIAN ACCESS TO LIFESTYLE VILLAGE AND CONNECTION TO GREATER PATH NETWORK

STORMWATER DRAINAGE EASEMENT RUNNING THROUGH DEVELOPMENT NOT TO CONTAIN ANY PERMANENT STRUCTURES

INTERNAL PATHWAY NETWORK PROVIDES WALKING CIRCUITS AND CONNECTIONS BETWEEN FACILITIES WELL AS SEPARATING TURF FROM GARDENS FOR EASE OF MAINTENANCE.

LARGE CENTRAL OPEN LAWN AREA FOR MORE ACTIVE RECREATION AND EVENTS, SPACE MAINTAINS OPEN VIEWS NORTH FROM CLUB HOUSE THROUGH CENTRAL CORRIDOR OF THE VILLAGE

SHADE TREE PLANTING AND MIXED NATIVE PLANT SPECIES TO UNDERSTOREY PROVIDE SEPARATION TO PRIVATE RESIDENCES

COURTS FOR ACTIVE RECREATION TO ARCHITECTS DETAILS. CONCRETE PATHS PROVIDE CONNECTION WITH FEATURE PLANTING TO SOFTEN EDGES

CONCRETE FOOTPATH THROUGH PUBLIC ACCESSWAY WITH LOW MIXED NATIVE PLANTING SPECIES TO MAINTAIN SIGHT LINES TO ROAD

ALFRESCO DECKING AND BRICK PAVED AREAS TO ARCHITECTS DETAILS

FORMAL GARDEN PLANTING TO SURROUNDS OF CLUB HOUSE WITH HIGHER LEVEL OF MAINTENANCE FOR ON-GOING PRESENTATION OF COMMON FACILITIES

DECIDUOUS SHADE TREE PLANTING TO CARPARKING FOR SHADE AND SHELTER

LEGEND

- EXTENT OF DETAIL PLAN
- CLUBHOUSE AND COMMUNITY FACILITIES
- TENNIS COURTS OR LAWN BOWLS
- SERVICE EASEMENT
- COMMUNAL PARKING BAYS
- INDIVIDUAL LOTS AND HOUSES
- NEW ASPHALT SEALED ROADS
- NEW PEDESTRIAN FOOTPATHS
- FEATURE BRICK OR EXPOSED AGG PAVING
- FORMAL GARDEN PLANTING
- MIXED NATIVE GARDEN PLANTING
- DRAINAGE BASIN AND SWALE PLANTING
- LAWN / OPEN TURF AREAS
- FEATURE ORNAMENTAL PEAR AND PLUM TREE
- ORNAMENTAL CREPE MYRTLE TREE
- DECIDUOUS GLEITSEA 'SHADE MASTER' TREE
- DECIDUOUS SIMONS POPLAR TREE
- EVERGREEN TRISTANIOPSIS TREE



TREE PLANTING - SIMONS POPLAR



TREE PLANTING - TRISTANIOPSIS LUSCIOUS

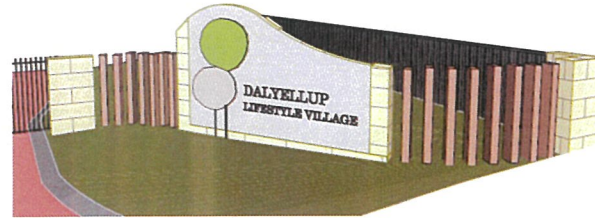
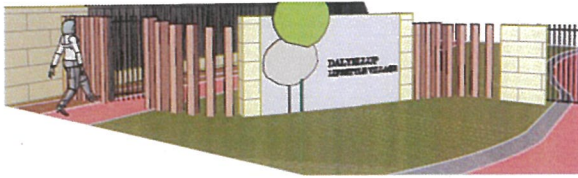
DALYELLUP LIFESTYLE VILLAGE, DAYELLUP

DETAIL CONCEPT PLAN - CLUB HOUSE LANDSCAPING

CLIENT: PIARA LANDHOLDINGS
 DATE: 15 AUGUST 2023
 REVISION: A
 DWG NO: DLV-01-002

SCALE: 1:250

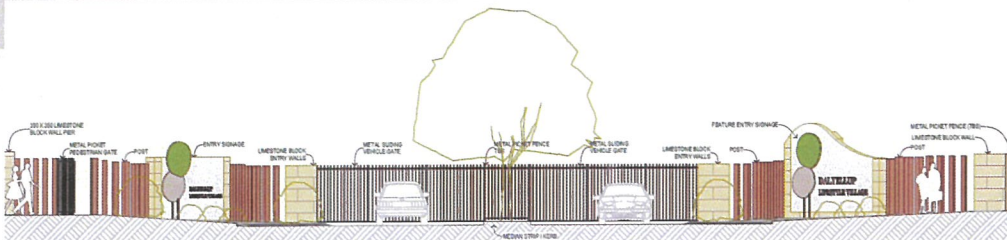
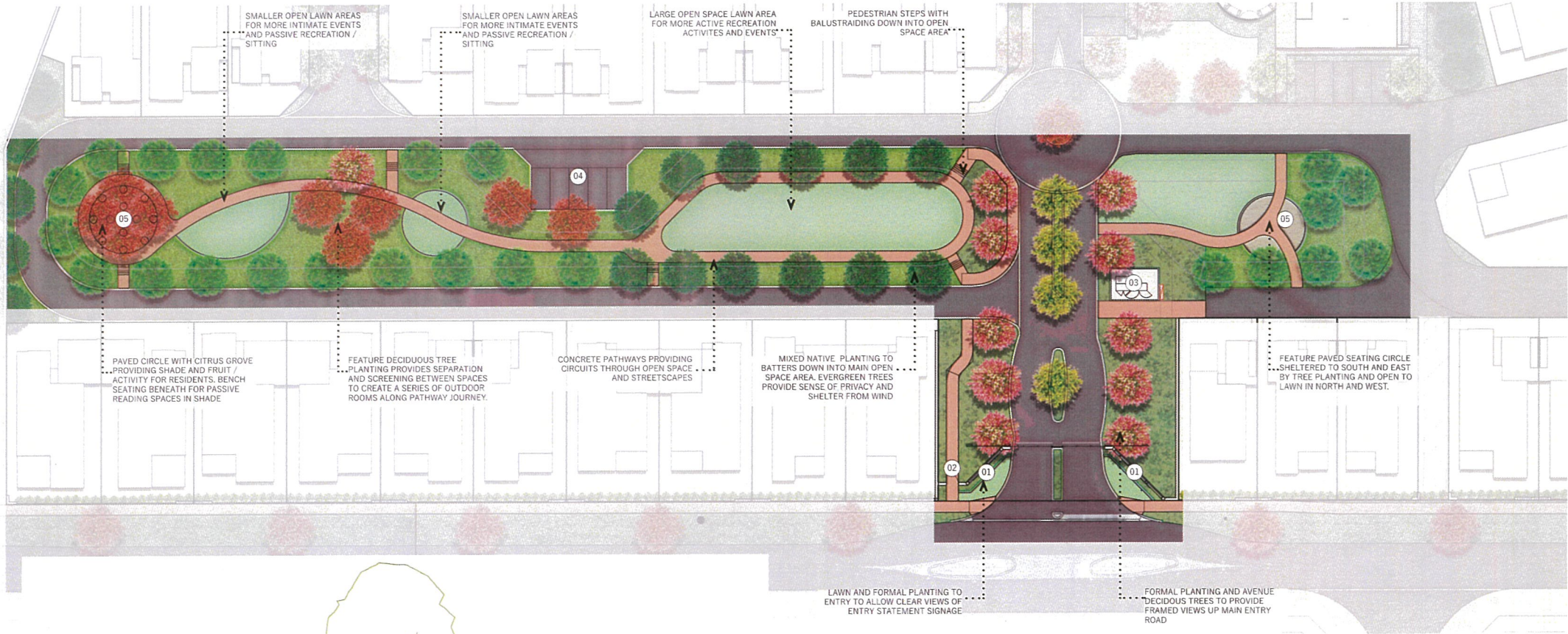




ENTRY STATEMENT PERSPECTIVES - PROVIDED BY BUILDING DEVELOPMENT GROUP CONSTRUCTIONS

LEGEND

- EXTENT OF DETAIL PLAN
- 01 ENTRY STATEMENT WALL - REFER ARCHITECTS DWGS
- 02 PEDESTRIAN ACCESS GATE
- 03 ELECTRICAL TRANSFORMER
- 04 COMMUNAL PARKING BAYS
- 05 BRICK PAVED SEATING AREAS
- INDIVIDUAL LOTS AND HOUSES
- NEW ASPHALT SEALED ROADS
- NEW PEDESTRIAN FOOTPATHS
- FEATURE BRICK OR EXPOSED AGG PAVING
- FORMAL GARDEN PLANTING
- MIXED NATIVE GARDEN PLANTING
- DRAINAGE BASIN AND SWALE PLANTING
- LAWN / OPEN TURF AREAS
- FEATURE ORNAMENTAL PEAR AND PLUM TREE
- ORNAMENTAL CREPE MYRTLE TREE
- DECIDUOUS GLEDITSEA 'SHADE MASTER' TREE
- DECIDUOUS SIMONS POPLAR TREE
- EVERGREEN TRISTIANIOPSIS TREE



ENTRY STATEMENT ELEVATION - PROVIDED BY BUILDING DEVELOPMENT GROUP CONSTRUCTIONS

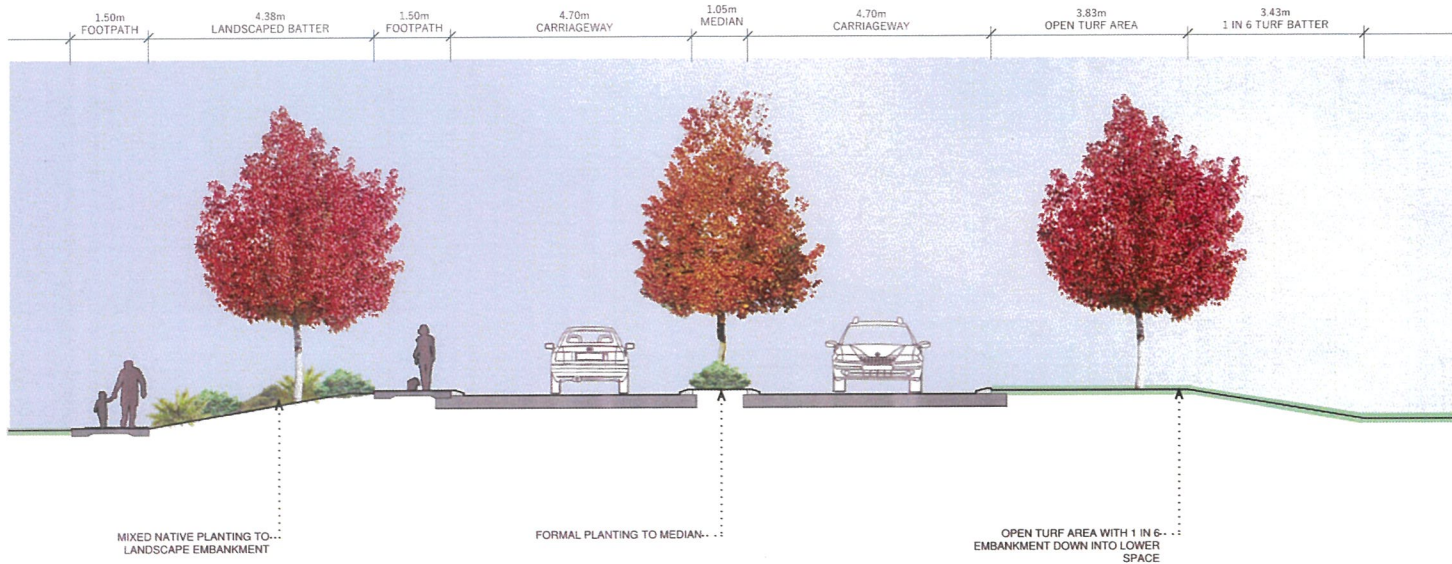
DALYELLUP LIFESTYLE VILLAGE, DAYELLUP

DETAIL CONCEPT MASTERPLAN - ENTRY POS LANDSCAPING

CLIENT: PIARA LANDHOLDINGS
 DATE: 15 AUGUST 2023
 REVISION: A
 DWG NO: DLV-01-003

SCALE: 1:250



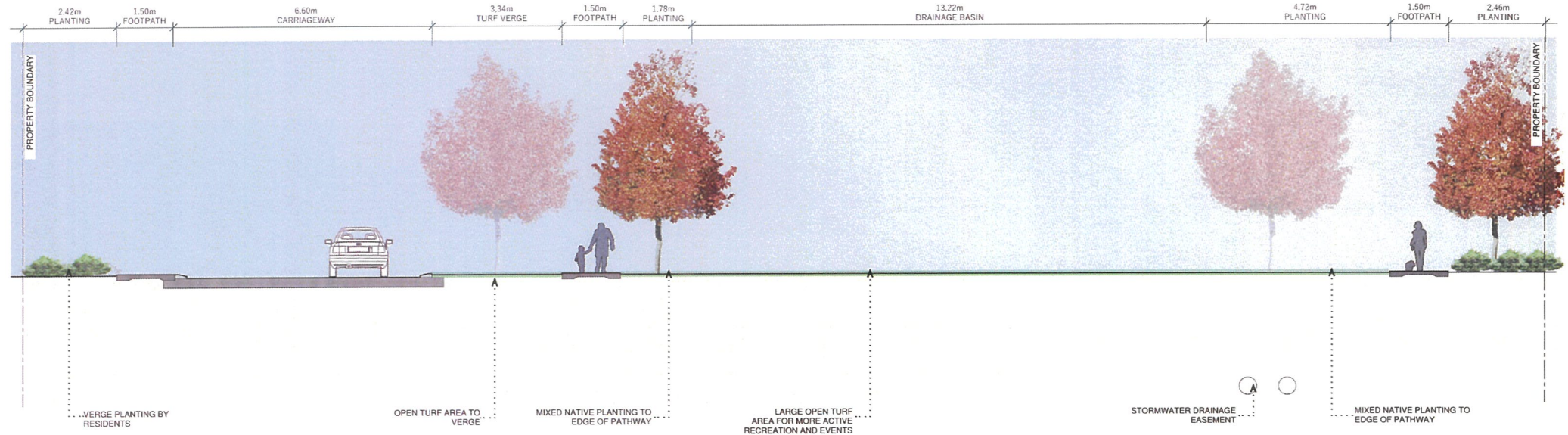


DETAIL SECTION A - ENTRY ROAD LANDSCAPING

0 0.5 1 1.5 2 m SCALE 1:50 @



LOCATION PLAN



DETAIL SECTION B - OPEN SPACE AND DRAINAGE SWALE

0 0.5 1 1.5 2 m SCALE 1:50 @

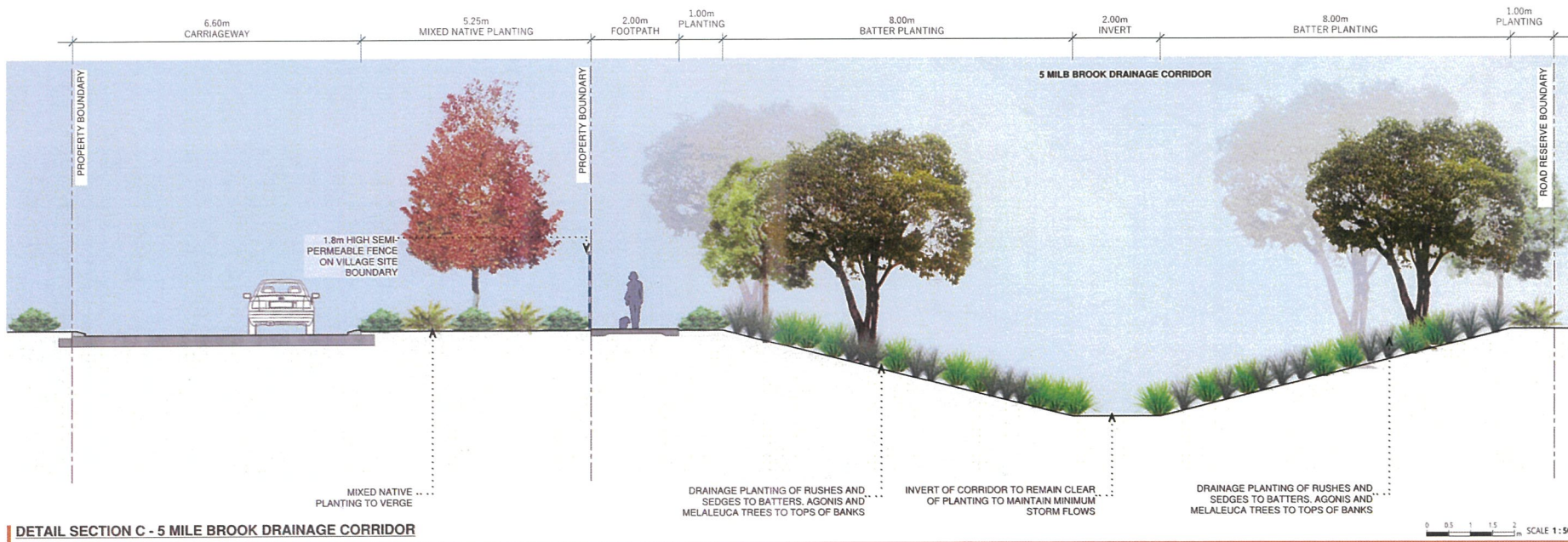
DALYELLUP LIFESTYLE VILLAGE, DAYELLUP

LANDSCAPE MASTERPLAN - TYPICAL SECTIONS

CLIENT: PIARA LANDHOLDINGS
 DATE: 15 AUGUST 2023
 REVISION: A
 DWG NO: DLV-01-004

SCALE: 0 1 2 3 4 5 m
 SCALE 1:100 @





DETAIL SECTION C - 5 MILE BROOK DRAINAGE CORRIDOR



DETAIL SECTION D - ACTIVE OPEN SPACE AREA



LOCATION PLAN

DALYELLUP LIFESTYLE VILLAGE, DAYELLUP

LANDSCAPE MASTERPLAN - TYPICAL SECTIONS

CLIENT: PIARA LANDHOLDINGS
 DATE: 15 AUGUST 2023
 REVISION: A
 DWG NO: DLV-01-005
 SCALE: 1:200 @A1



TREE SPECIES

TREES

- Agonis flexuosa - WA Peppermint
- Gleditsia incanthos 'Shade Master' - Honey Locust
- Lagerstroemia indica x 'Natchez' - Crepe Myrtle
- Melaleuca raphiophylla - Swamp Paperbark
- Populus simonii - Simons Poplar
- Prunus blicana - Ornamental Plum
- Pyrus calleryana - Braddocks Pear
- Tristaniopsis Laurina Luscious - Water Gum



Agonis flexuosa



Anigozanthus manglessii



Atriplex cinerea



Banksia nivea



Beaufortia squarrosa



Calothamnus quadrifidus

FORMAL PLANTING SPECIES

TREES

- Eucalyptus ficifolia - Red Flowering Gum
- Hakea laurina - Pin Cushion Hakea
- Magnolia Little Gem - Little Gem

SHRUBS

- Agonis flexuosa 'nana' - Dwarf WA Peppermint
- Anigozanthus manglessii - Red and Green Kangaroo Paw
- Atriplex cinerea - Grey Saltbush
- Beaufortia squarrosa - Sand Bottlebrush
- Calothamnus quadrifidus - Onesided Botelbrush
- Casuarina glauca - Cousin IT
- Grevillea olivacea - Olive-Leaved Grevillea
- Lepidosperma gladiatum - Coastal Sword Sedge
- Lomandra longifolia - Matt Rush
- Lomandra 'Seaspray' - Sea Spray
- Murayra paniculata - Orange Jessamine
- Melaleuca incana - Grey Honey-Myrtle
- Meeboldina scariosa - Velvet Rush
- Oleandra axillaris - Coastal Daisy Bush



Casuarina Cousin IT



Conostylis aculeata



Ficinia nodosa



Grevillea Gingin Gem



Grevillea olivacea



Hakea laurina

GROUND COVERS

- Banksia nivea - Honeypot Dryandra
- Conostylis aculeata - Prickly Conostylis
- Grevillea Gingin Gem
- Myoporum parvifolium - Creeping Boobialla
- Scaevola crassifolia - Purple Fan Flower

MIXED NATIVE PLANTING SPECIES

TREES

- Agonis flexuosa - WA Peppermint Tree
- Banksia grandis - Bull Banksia
- Hakea laurina - Pin Cushion Hakea

SHRUBS

- Adenanthos cuneatus - Kalbarri Carpet
- Anigozanthus flavusca - Yellow Kangaroo Paw
- Anigozanthus manglessii - Red and Green Kangaroo Paw
- Billardiera fusiformis - Australian Bluebell
- Beaufortia squarrosa - Sand Bottlebrush
- Calothamnus quadrifidus - Onesided Botelbrush
- Casuarina glauca - Cousin IT
- Grevillea olivacea - Olive-Leaved Grevillea
- Lepidosperma gladiatum - Coastal Sword Sedge
- Lepidosperma Twilight Green
- Melaleuca incana - Grey Honey-Myrtle
- Meeboldina scariosa - Velvet Rush
- Templetona retusa - Cockle's Tongue

GROUND COVERS

- Banksia nivea - Honeypot Dryandra
- Conostylis aculeata - Prickly Conostylis
- Grevillea Gingin Gem
- Lomandra Seaspray
- Melaleuca heugelli - White Rambler
- Myoporum parvifolium - Creeping Boobialla
- Scaevola crassifolia - Purple Fan Flower



Juncus pallidus



Lepidosperma gladiatum



Lomandra 'Sea Spray'



Lomandra longifolia



Magnolia 'Little Gem'



Meeboldina scariosa

DRAINAGE BASIN AND SWALE PLANTING SPECIES

TREES

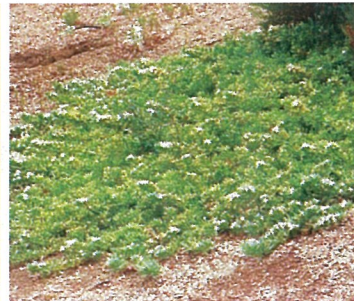
- Agonis flexuosa
- Melaleuca raphiophylla

GROUND COVERS

- Baumea juncea
- Carex appressa
- Ficinia nodosa
- Meeboldina scariosa
- Juncus pallidus
- Scheonoplectus validus



Melaleuca incana nana



Myoporum parvifolium



Scaevola crassifolia



Scheonoplectus validus



Templetona retusa

DALYELLUP LIFESTYLE VILLAGE, DAYELLUP
LANDSCAPE CONCEPT PLAN - SOFTWORKS AND PLANTING

CLIENT: PIARA LANDHOLDINGS
 DATE: 15 AUGUST 2023
 REVISION: A
 DWG NO: DLV-01-006
 SCALE: 1:200 @A1

