

LOCAL DEVELOPMENT PLAN



LOCAL DEVELOPMENT PLAN PROVISIONS

Stage 6 Forest Edge, Dalyellup Local Development Plan Provisions

The provisions of the Shire of Capel Local Planning Scheme No. 7 (the Scheme) and State Planning Policy 3.1 Residential Design Codes (R-Codes) are varied as detailed within this Local Development Plan (LDP).

General Provisions

1. Unless otherwise detailed on this LDP, all development shall be in accordance with the Scheme and the R-Codes.
2. Consultation with adjoining or other landowners to achieve a variation provided by this LDP is not required.

Residential Design Code

3. The R-Code density applicable to the subject lots is R30 as per the Dalyellup East Local Structure Plan.

Streetscape

4. A primary street setback of 2.0m minimum shall apply to all dwellings on the subject lots, subject to the primary street elevation of the dwelling incorporating a minimum of two of the following materials and finishes (not including door and window treatments or structural beams such as verandah posts, but may include roof materials and garage door treatments):
 - Timber panelling or timber look panelling;
 - Custom orb cladding;
 - Weatherboard or similar panelling;
 - Face brickwork (minimum 2 courses);
 - Rendered brick work; and
 - Stone or stone look material.
5. Garages/Carports to be setback 4.5m from the primary street although it may be reduced to 4.0m where an existing or planned footpath or shared path is located more than 0.5m from the street boundary.
6. A secondary street setback of 1.0m applies to all corner lots (excluding garages/carports).
7. Primary dwelling orientation to Tiffany Centre is required for the identified rear loaded lots with no vehicle access permitted to either Tiffany Centre, Dresden Road or Paragon Loop.
8. Uniform fencing shall be provided to rear loaded lots by the subdivider as identified by this LDP and wholly contained within the lot.
9. Uniform fencing shall consist of masonry wall and pier construction with open style infill fencing material, at a maximum height of 1.2m above natural ground level and shall not be altered or removed with the exception of maintenance and repair, using materials that are as close as practical to those used in the original construction.

Boundary Setbacks

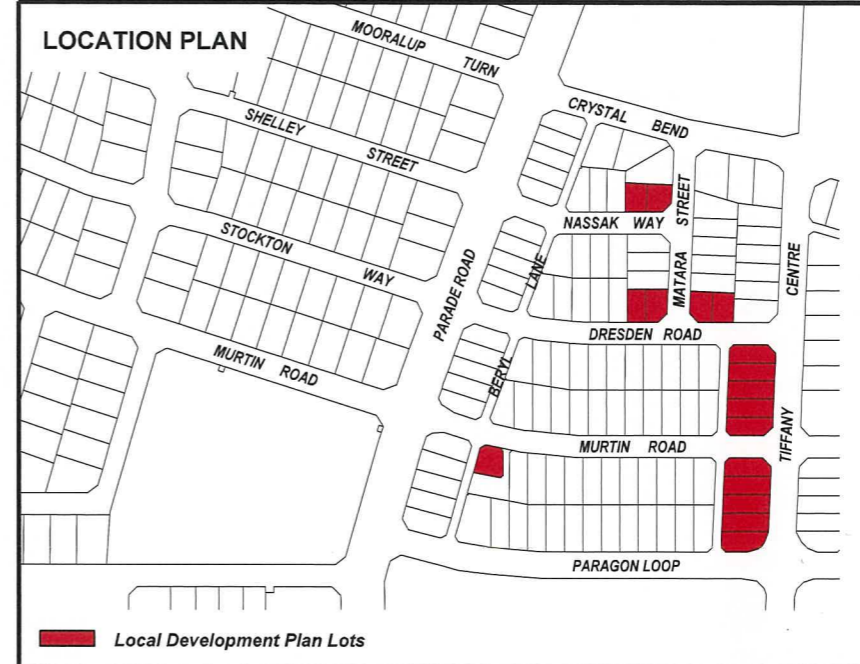
10. A boundary setback of 1.2m applies for dwellings with a wall height of 3.5m or less with major openings and 1.0m for dwellings with a wall height of 3.5m or less without major openings.
11. With the exception of lots that have secondary street frontage, a boundary wall to both side boundaries for dwellings wall heights up to 3.5m or less is permissible, subject to being 2/3 length to one side boundary and 1/3 maximum length to the second side boundary.
12. For lots where there is only one side boundary, a boundary wall for dwellings with a wall height up to 3.5m or less is permissible subject to being no more than 2/3 the length of the boundary.

Approval

This LDP has been approved by the Shire of Capel under Clause 5.10.5 of the Shire of Capel Local Planning Scheme No7.

Signature *[Signature]* Date 1/6/2016 delegation 26 from CEO

LOCATION PLAN



LEGEND

- R30 LOTS
- R40 LOTS
- PRIMARY STREET DWELLING ORIENTATION
- VEHICLE ACCESS RESTRICTIONS
- MIN 2.0m PRIMARY STREET SETBACK LINE
- X DESIGNATED GARAGE/ CARPORT LOCATION
- UNIFORM FENCING

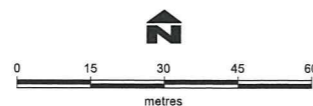
NOTES

Base data supplied by Thompson Survey Consultants

Areas and dimensions shown are subject to final survey calculations.

All carriageways are shown for illustrative purposes only and are subject to detailed engineering design.

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CLIENT : Piara Landholdings Pty Ltd
 SCALE : 1:1,500 @ A3
 DATE : 31 May 2016
 PLAN No : FE STG6 LDP
 REVISION : A
 PLANNER : SLB
 DRAWN : BL

LOCAL DEVELOPMENT PLAN
 Stage 6 Forest Edge, DALYELLUP

