

Shed, Workshop, Enclosed Structures

Definition

Outbuildings, Sheds, Workshops, Enclosed Structures, or the like, (defined as Outbuildings for the purpose of this Information Sheet) is an enclosed structure that is not to be lived in and not attached to a house. The term outbuilding comprises backyard sheds, storerooms, barns, and the like. They do not include ancillary accommodation or other rooms that have frequent habitable use.

Frequently asked Questions

Do I Need Development Approval to Construct an Outbuilding?

Before beginning, check the zone of the Lot – development requirements differ between zones.

Development Approval is **not** required for the following:

| Zone | Maximum Floor Area | | Maximum Wall Height | Maximum Ridge Height | Setback Requirements | All Storm Water including roof run off disposal is to be contained on site. |
|-----------------------|---|---------------------------|---------------------|----------------------|---|---|
| | Reflective Cladding | Non-Reflective Cladding | | | | |
| R30 and above | 60m ² | 60m ² | 2.4m | 4.2m | Compliant with R-Codes Table 2 | |
| R12.5 to R20 | 80m ² | 80m ² | 2.7m | 4.2m | Compliant with R-Codes Table 2 | |
| Residential R2.5 & R5 | 120m ² | 120m ² | 2.4m | 4.2m | Outbuildings must be located within a building envelope, where a building envelope has not been designated, a plan shall be submitted identifying a building envelope, in a location to the satisfaction of the local government. | |
| Rural Residential | <ul style="list-style-type: none">Where the outbuilding is to be constructed on a lot where a building permit for a dwelling has already been issued and the dwelling has been “substantially commenced”;Maximum floor area of 200m² in aggregate;Where the cladding material is non-reflective;Has a maximum wall height of 5 metres; andIs located within an approved building envelope. | | | | | |
| Priority Agriculture | Lot Size less than 3ha | Lot Size greater than 3ha | N/A | 5m | Compliant with relevant setbacks | |

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|--|--|-------------------|--|--|----------------------------|--|
| | 300m ² | 400m ² | | | / within Building Envelope | |
| | For lots below 15ha a Building Permit for a dwelling must be issued and construction substantially commenced | | | | | |
| | The use of reflective materials will not be permitted | | | | | |

More Information

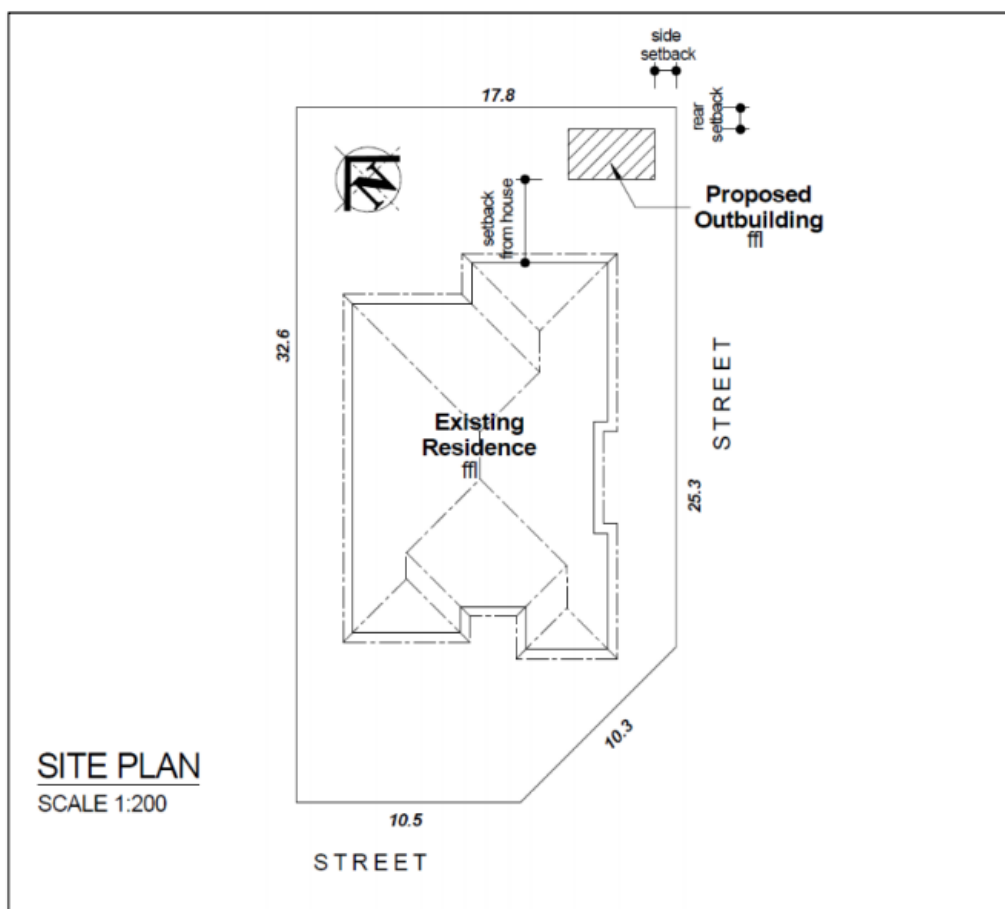
Please see the Shire of Capel's 'Development Application Information and Checklist' Information Sheet on what is required to submit a Development Application available from the Shire's Administration Building or on the Shire's website www.capel.wa.gov.au.

The Shire is unable to confirm if a proposal would be supported in the absence of a formal development application. However, applicants can discuss planning proposals and preliminary plans with the Shire's Development Services. Planning Officers can provide general advice to applicants on proposed development or land use and the information required to lodge a complete application.

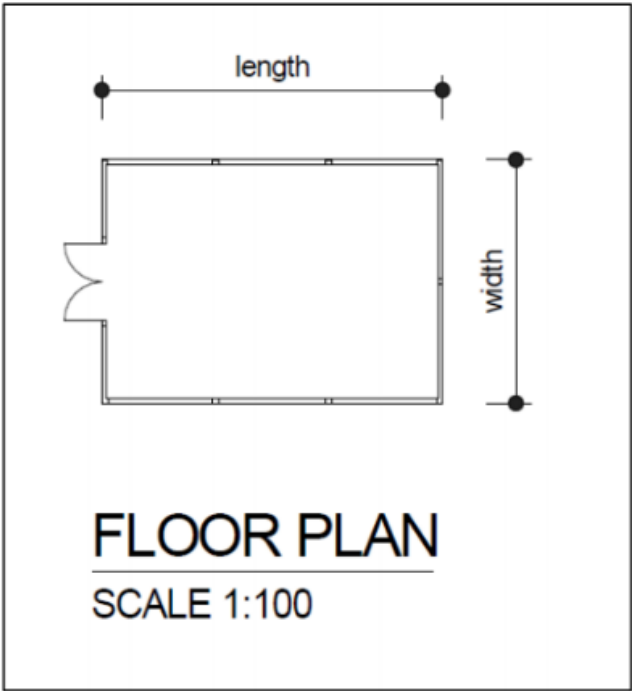
A Duty Planner is available at the Shire's Administration Office via a booking system. To book a phone or in-person appointment please call the Shire's Customer Services on 9727 0222. Alternatively, you can email your enquiry to info@capel.wa.gov.au.

Acceptable Drawing Examples

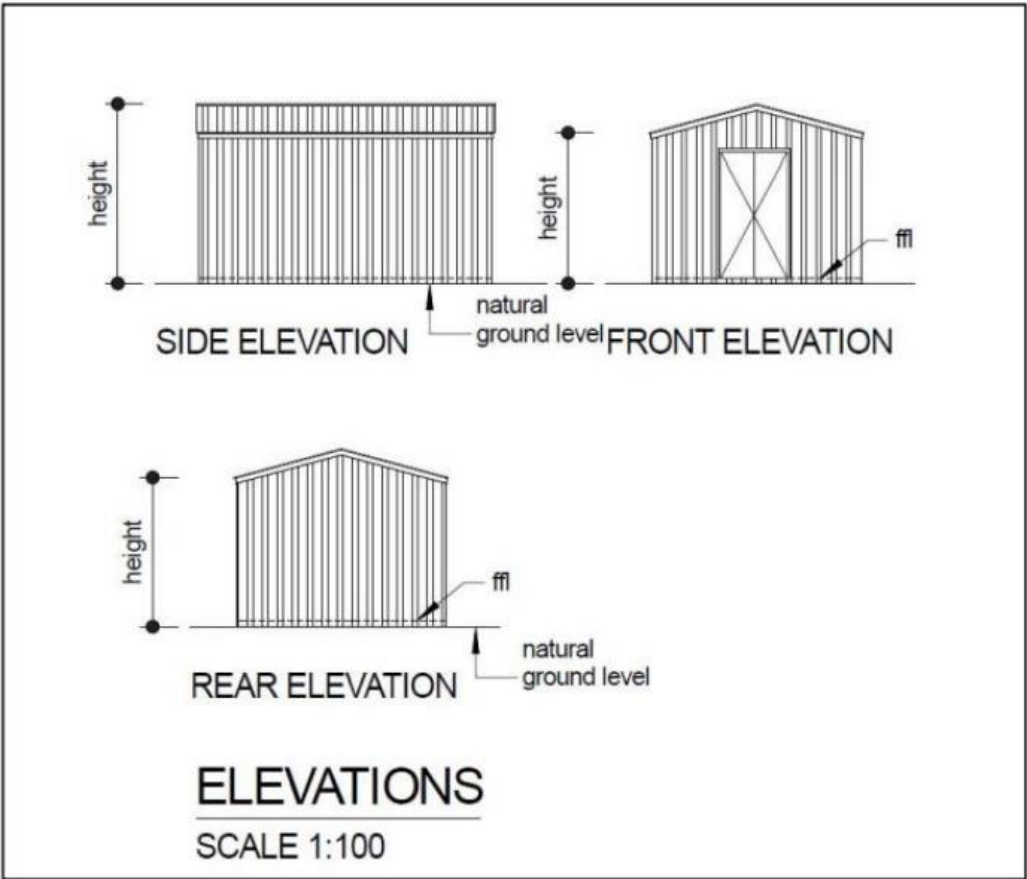
Site Plan



Floor Plan



Elevations



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|-------------|-----------------------------|--------------|------------|
| Department: | Development Services | Next review: | 2025 |
| Reviewer: | Manager Development Service | Adopted: | 2024 |
| Amended: | N/A | Version: | March 2025 |