

INFORMATION REGARDING DEVELOPMENT REQUIREMENTS IN THE “ACREAGE”

The purpose of this information sheet is to assist potential purchasers to navigate the Shire’s development requirements regarding house design and land use within the subdivision.

This can be a complex task, therefore please find below the requirements for each development area and comments providing more detailed information.

Development	Development Controls	Comments
Boundary Fencing	Post and wire fencing is required. The Developer’s website states that this will be provided by the developer.	Solid boundary fencing is not permitted. This is because it creates a sense of confinement which does not reflect the intent to create an open low-density landscape.
Building Envelopes	<p>Building envelopes are identified for each lot (see attached plan).</p> <p>Building Envelopes are to contain all improvements including:</p> <ul style="list-style-type: none"> • Dwellings • Ancillary accommodation • Outbuildings • Patios • Effluent disposal systems, etc. 	<p>The location of building envelopes has been designed to provide certainty for neighbours to know where future development will be located as well as ensuring suitable setbacks from environmental features.</p> <p>It should not be assumed that modifications to building envelopes will be supported as they have been carefully designed as a complete design and provide certainty for building locations for yourself and neighbours.</p>

<p>Effluent Disposal</p>	<p>All on-site treatment systems must be in accordance with the requirements of the WA Government Sewerage Policy. Secondary treatment systems are required, and nutrient removal will be required.</p> <p>The location of effluent disposal systems is to be located within the approved building envelopes. It is noted that some lots have further restrictions on the location of systems. There is a need for a 100m separation from the conservation category wetland and the Five Mile Brook Diversion Drain (see attached plan).</p> <p>If a bore is proposed for drinking water, a 30m separation distance is required.</p>	<p>This subdivision is located within an environmentally sensitive area and management of nutrients is essential to preserve the local environment.</p> <p>In choosing a system, it must be capable of removing nutrients such as nitrogen and phosphorus.</p> <p>Additional information can be provided by contacting the Shire's Environmental Health Team.</p> <p>The Department of Health has a list of approved Secondary Treatment Systems – see Table 1: Approved STS (Certified to AS1546.3:2017)</p>
<p>Bushfire Planning</p>	<p>Future development applications need to be accompanied by a Bushfire Attack Level (BAL) assessment.</p> <p>Single lots above 500m² need a dedicated static water supply on the lot that has the effective capacity of 10,000 litres.</p>	<p>This locality is identified as being Bush Fire Prone. State Government initiatives require fire risk to be addressed at the planning/building stage to ensure that buildings are constructed to a standard to reduce risk to property and loss of life.</p>
<p>Building a “Granny Flat” (Ancillary Accommodation)</p>	<p>Ancillary Accommodation is limited to 80m² floor area.</p>	<p>Ancillary accommodation is to provide additional lifestyle and flexibility to accommodate family and guests. The size of ancillary accommodation is limited to ensure building bulk and density preserves a low-density living experience.</p> <p>Assessment of the size of the onsite effluent system to be considered with this application.</p>
<p>Water Supply</p>	<p>A rainwater tank of 135,000 litres is required to be provided.</p>	<p>This is to ensure that an adequate potable water supply is available.</p>

<p>Outbuildings (sheds)</p>	<p>Limited to 200m² without development approval.</p> <p>Subject to a building permit being in place for a house.</p>	<p>The floor area limit is to ensure that sheds are scaled to be in harmony with the landscape and not dominate the streetscape.</p> <p>The Shire is preparing a Local Planning Policy to provide further guidance on shed design, size, wall height and location.</p> <p>Sheds are not to be used for habitation or for business activity unless relevant approvals have first been obtained.</p> <p>In using a shed for a “hobby”, it is necessary to comply with “Noise Regulations” which are in place to protect all residents from unreasonable noise intrusion and an expectation for all to enjoy a quiet residential setting.</p> <p>Sheds will only be approved if there is an existing building permit in place for a dwelling.</p>
<p>Temporary Accommodation</p>	<p>There is opportunity to live on the property whilst building, for up to 12 months.</p> <p>This will be subject to obtaining relevant approvals in accordance with the Shire’s policy (Local Planning Policy 6.14 Temporary Residential Accommodation).</p>	<p>This is to provide flexibility and improve affordability during the building process.</p> <p>The policy provides guidance on criteria to be addressed to ensure impacts on neighbours and the local environment are appropriately addressed. This includes among other things to ensure a suitable supply of water, power, and effluent disposal.</p>
<p>Applying for a Bore</p>	<p>This is regulated through the Department of Water and Environmental Regulation (DWER).</p> <p>If a bore is proposed for drinking water, a 30m separation distance is required.</p>	<p>It is suggested to speak to the Department of Water and Environmental Regulation regarding permits required.</p> <p>In selecting a location, it may be necessary to discuss implications with the Shire’s Building team. This is because setbacks may apply for structures/dwelling and swimming pools when located near a bore.</p>

Livestock/Large Animals Not Permitted

While separate to development, many may be considering having livestock on the property. Unfortunately, this is not permitted in the Acreage. This is to acknowledge that the density of the estate cannot sustain livestock without causing distress to the animals as well as creating nuisance to neighbours in relation to noise, dust, erosion, odour and bringing pests to the area.

In addition, livestock increase risk to damaging the water environment through increased nutrient loads. This position is backed by Local Planning Scheme provisions and is intended to protect the welfare of animals, the health of the environment and preserving local amenity for residents.

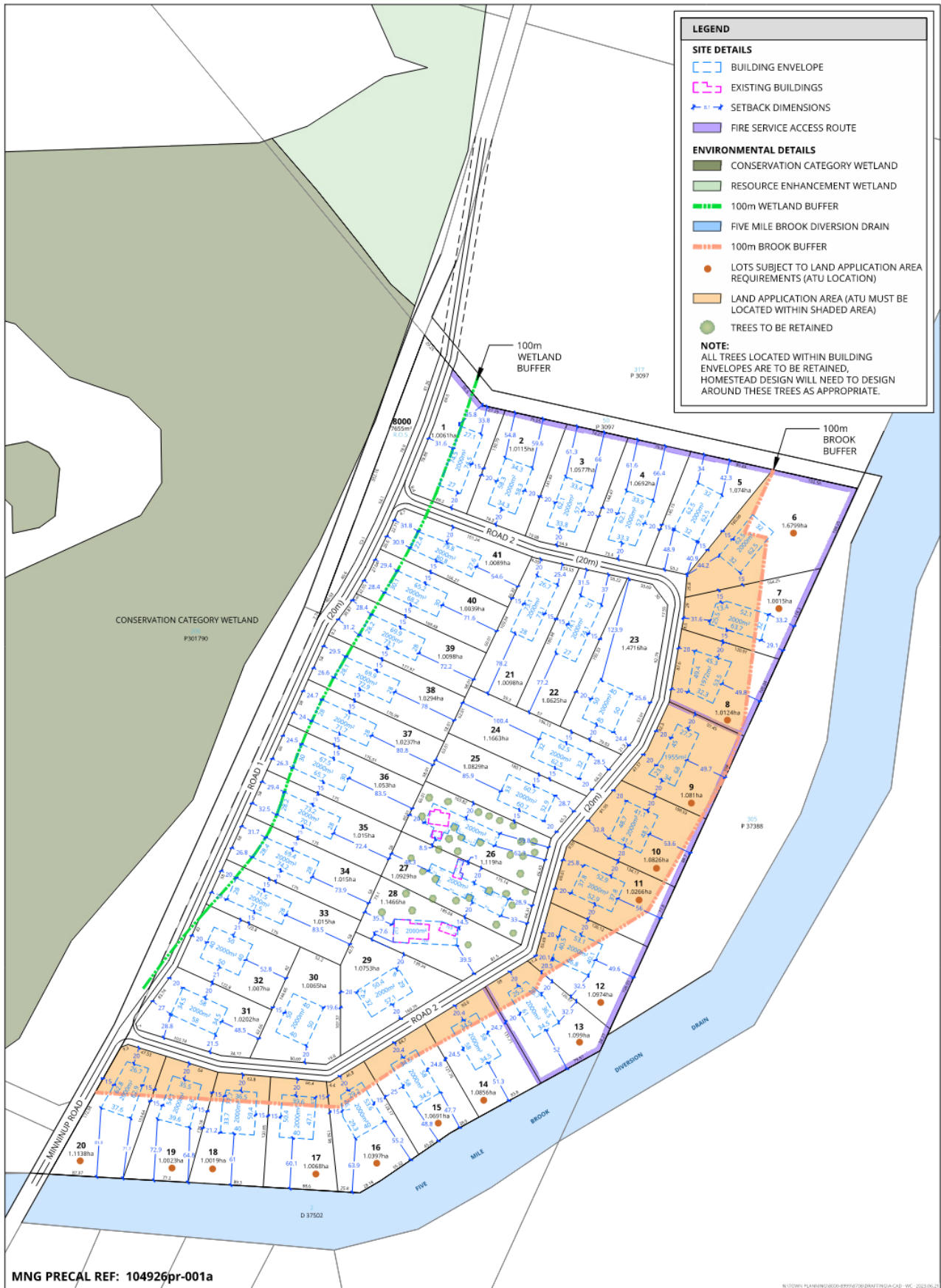
It is important for the Shire to be very clear that there are no exceptions or discretion available in relation to keeping of livestock. This position was an essential requirement when the Western Australian Planning Commission (State Government) approved the Shire's Local Planning Scheme which has enabled this subdivision to occur.

Mosquito Management - Designing Outdoor Areas

This development is located within proximity of mosquito breeding wetlands. Whilst the Shire has an extensive Mosquito Management Plan, mosquitoes will not be eradicated. When considering designs for outdoor living areas, it may be helpful to include options for screens and landscaping treatments to reduce mosquito exposure during peak periods.

If you require any further information, please contact the Shire of Capel on 9727 0222 or info@capel.wa.gov.au.

Department:	Development Services	Next review:	
Reviewer:	Manager Development Services	Adopted:	23 April 2024
Amended:		Version:	1



BUILDING ENVELOPE PLAN

LOTS 120 & 121 MINNINUP ROAD
DALYELLUP



0 100 m
SCALE @ A3: 1:4000
8708-FIG-09-1

DRAWING DATE CREATED: 2023.06.19
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